

Ridgely Forest HOA 2024 Landscaping Request for Proposals



PROPERTY DESCRIPTION:

562 Single Family and Townhome in North East, MD. Streets in the service district are Bayberry Drive, Blackgum Road, Blue Spruce Way, Corktree Lane, Crabapple Court, Goldspire Drive, Hibiscus Court, Honeylocust Circle, Juniper Circle, Magnolia Drive, Redbud Court, Ridgley Forest Drive, Sequoia Place, Spirea Court, Sugarberry Drive, Sweetleaf Court, Tilia Drive, Viburnum Ave, Yellowwood Drive.

The community includes a common Club house, Pool, Pavilion, Playground, Gazebos, Mailbox area, Sign beds and Storm water management areas.

GENERAL STANDARDS:

The contractor shall be familiar with the project premises and how the existing conditions will affect his or her work during the horticultural service phases of this agreement.

Throughout the term of the Agreement, the contractor shall maintain at his or her sole expense Comprehensive General Liability insurance with a minimum coverage of one million dollars, and automobile liability coverage covering his activities on the project premises. Contractor shall furnish a copy of his/her license with a certificate of insurance listing the association as the additional insured. The contractor shall also maintain at his or her sole expense the applicable statutory required limit of worker's compensation insurance coverage.

Upon request, the Contractor will be required to submit to the Management Company "General Inspection Reports" whereby the Association Common areas inclusive of Storm Water Management areas are inspected for overall appearance, current and future maintenance needs, and immediate deficiencies.

In an effort to maintain the highest possible standards to enhance community life, we are looking for Contractors that will view our communities as their own.

SCOPE:

Furnish all labor, equipment and materials necessary to complete the maintenance of turf and plantings, as specified herein. **Upon approval of a contract, the Contractor shall sign and date "Exhibit B" agreeing to the terms of this Request for Proposal.**

TURF MAINTENANCE:

All common areas mowed as defined in Exhibit "C" (where and when practical) to be consistent with good horticultural practice necessary to ensure normal, vigorous, and healthy growth. Turf Inspections shall be performed by the contractor. **Per cut proposals will not be accepted**, the turf must be maintained as described above regardless of duration of the maintenance season.

ROADWAY MEDIANS, GAZEBOS, LIGHT POSTS, FIRE HYDRANTS AND MAILBOXES:

Roadway Medians, Gazebos, Light Posts, Fire hydrants and Mailboxes within the community shall be included in all turf and tree maintenance as previously described. Shall also be included in the crack, crevice and weed control schedule.

EDGING:

- Common Area planting bed edges are to be re-established (2) twice per year, with each seasonal rotation when applicable.
- 7x Annually (Apr – Oct): Edging of all common area sidewalks

SHRUB AND FLOWER BED MAINTENANCE:

- Proposal to include (2) flower rotations; Spring/Summer and Fall of (2) Sign bed areas and Ridgely Forest Dr Medians
- Maintenance will consist of weed control, fertilization, pruning, disease and insect/pest control, and any other procedure consistent with good horticultural practices necessary to ensure normal, vigorous, and healthy growth of shrub plantings, trees and weed-free bedding areas.
- Prior to installation of mulch, beds will be mechanically edged to a depth of 2"-3" and all weeds will be removed.
- Post-emergent weeds shall be removed at the contractor's discretion on a per visit basis.
- **Contractor will provide a supplemental per hour cost associated with watering and proper hydration of the seasonal flowers as necessary.**

MULCHING:

The landscape maintenance contractor will furnish mulch material as noted in Exhibit A. If mulch removal is required for the health of the trees, shrubs or plants, **such removal will be included in the contract.**

CRACK, CREVICE, AND WEED CONTROL:

All common area sidewalks, gutter pans, gazebos and mailbox areas shall be treated (4) times per year.

FERTILIZATION/TURF TREATMENT:

All established common turf areas shall be fertilized 3x Annually (Early Spring, Late Spring, and Fall).

DISEASE AND INSECT PEST CONTROL:

All turf areas shall be inspected by the Contractor for signs of development of any pathogens and insects that might adversely affect the growth and normal development of the common areas, to include but not limited to turf and trees. Immediately upon finding any such problems, the landscape maintenance contractor shall contact the Management Company with a recommendation for corrective action. The recommendation will include a proposed cost of correction/remediation. All pesticides shall be used by or under the direct supervision of a licensed pesticide applicator.

PRUNING AND TREE TRIMMING:

- Shrubs shall be neatly pruned and/or clipped to preserve the natural character and in a manner appropriate for each plant (4) times per year, as needed.
- Common Area street trees shall be trimmed/elevated to a safe height of 8' (1) time per year.
- If broken branches and/or bruised limbs are noticed the Contractor shall inform the Management Company while on site for a directive.

SPRING AND FALL CLEAN-UP:

(1) Time in the spring and (1) time in the fall, the community is to be inspected for excess fallen brush/foliage and debris along curbing and have any and all brush, foliage and/or debris removed.

STORM WATER MANAGEMENT FACILITIES:

Community contains (6) SWM areas that will need servicing. The Landscaping Contractor will provide all mowing and trimming services necessary work to maintain the SWM facilities in compliance with all Federal, State and Local regulations. **Cut schedule listed on Exhibit "C"**

AERATION AND OVERSEED:

Contractor to provide a supplemental separate cost on (1x) Fall Aeration and Overseed of all Common Area Turf in the event the community opts to contract such services.

TRASH:

The Landscaping Contractor will be responsible for all trash/debris removal within the serviced areas on a per visit basis. This includes but is not limited to the Storm Water Management Facilities.

RENEWAL OPTION:

Contract must include an option to renew for an additional (2) two years at the conclusion of the term. Extension addendum payment terms must be specified.

CONTRACTOR RESPONSE:

The Landscaping Contractor and Property Manager must respond within (72) hours of contact by either party.

TERMINATION CLAUSE:

Either party may terminate services for any reason, with (30) days written notice provided via First-Class Postage.

ADDITIONAL SERVICES:

- All additional services requested in "Exhibit A" must be included in the proposal.
- If seasonal flower rotation is requested, Contractor shall bid on enough flowers to fill each common area bed.

CONSIDERATION OF CONTRACT:

For any proposal to be considered, the following items must be submitted with the proposal:

- The Contractor must sign and date "Exhibit B" agreeing to the terms of this Request for Proposal.
- Supplemental Services cost sheet outlining the expense of standard services not covered in this request.

We thank you for your interest. If you have any questions or wish to schedule a time to inspect the community, please contact me.

Sincerely,

Joe Cline
Aspen Property Management
410.620.2598 x4004
jcline@aspenpropertymgmt.com

EXHIBIT "A"

- INCLUDED IN THE CONTRACT PROPOSAL
 - MULCH COLOR/TYPE:
 - DOUBLE OR TRIPLE SHREDDED DYED BLACK
 - STORM WATER MANAGEMENT FACILITIES INCLUDED:
 - (_6_) NUMBER OF FACILITIES
 - TURF TREATMENT:
 - (__6__) NUMBER OF APPLICATIONS PER SEASON
- CONTRACTOR TO SUPPLY THE COST FOR THE FOLLOWING BUT IT'S NOT INCLUDED IN THE CONTRACT UNLESS APPROVED
 - PROVIDE A SUPPLEMENTAL COST:
 - (1X) AERATION AND OVERSEED OF ALL COMMON AREA TURF IN FALL

Date

Director/Officer or Landscape Committee Chair

EXHIBIT "B"
AGREEMENT OF TERMS

I, _____, as representative for _____,
hereby agree to the terms of this Request for Proposal. As such, failure to adhere to these terms
can and will be deemed as a breach of contract. This agreement supersedes any other contract
between both parties.

Board of Directors or Authorized Agent

Landscape Contractor

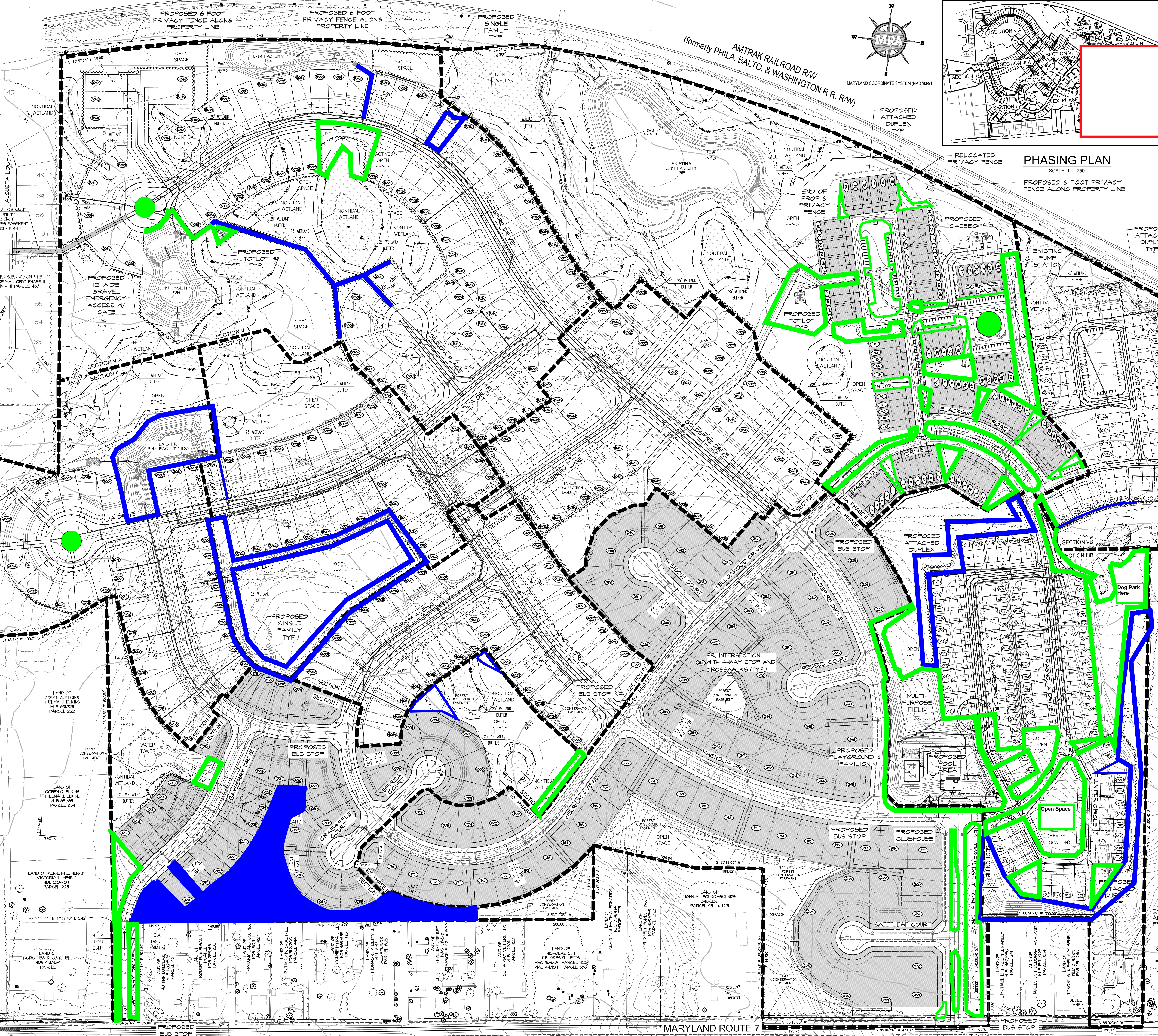
Date

Date

Exhibit "C"

Green - Weekly Cut

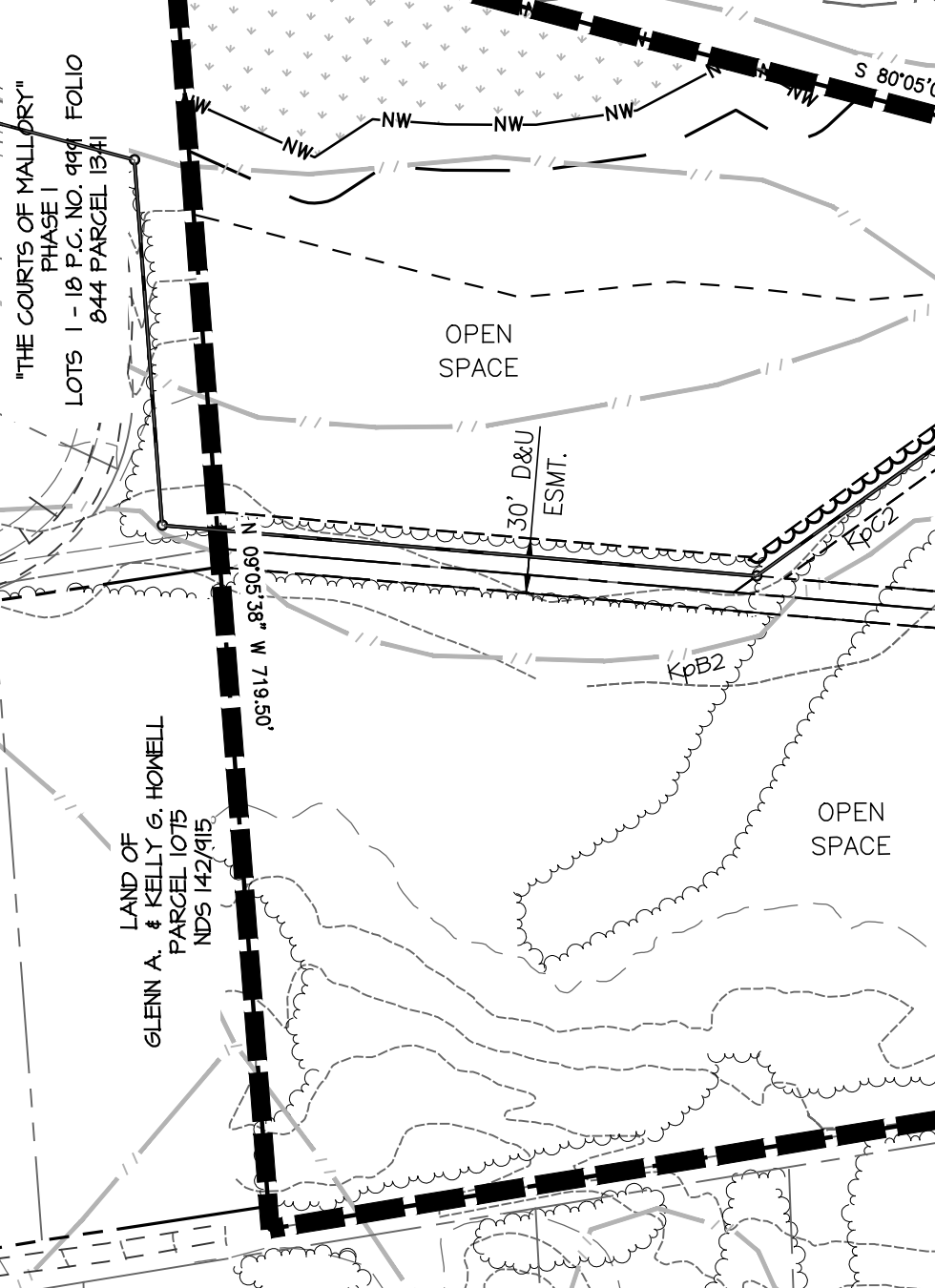
Blue - Monthly Cut



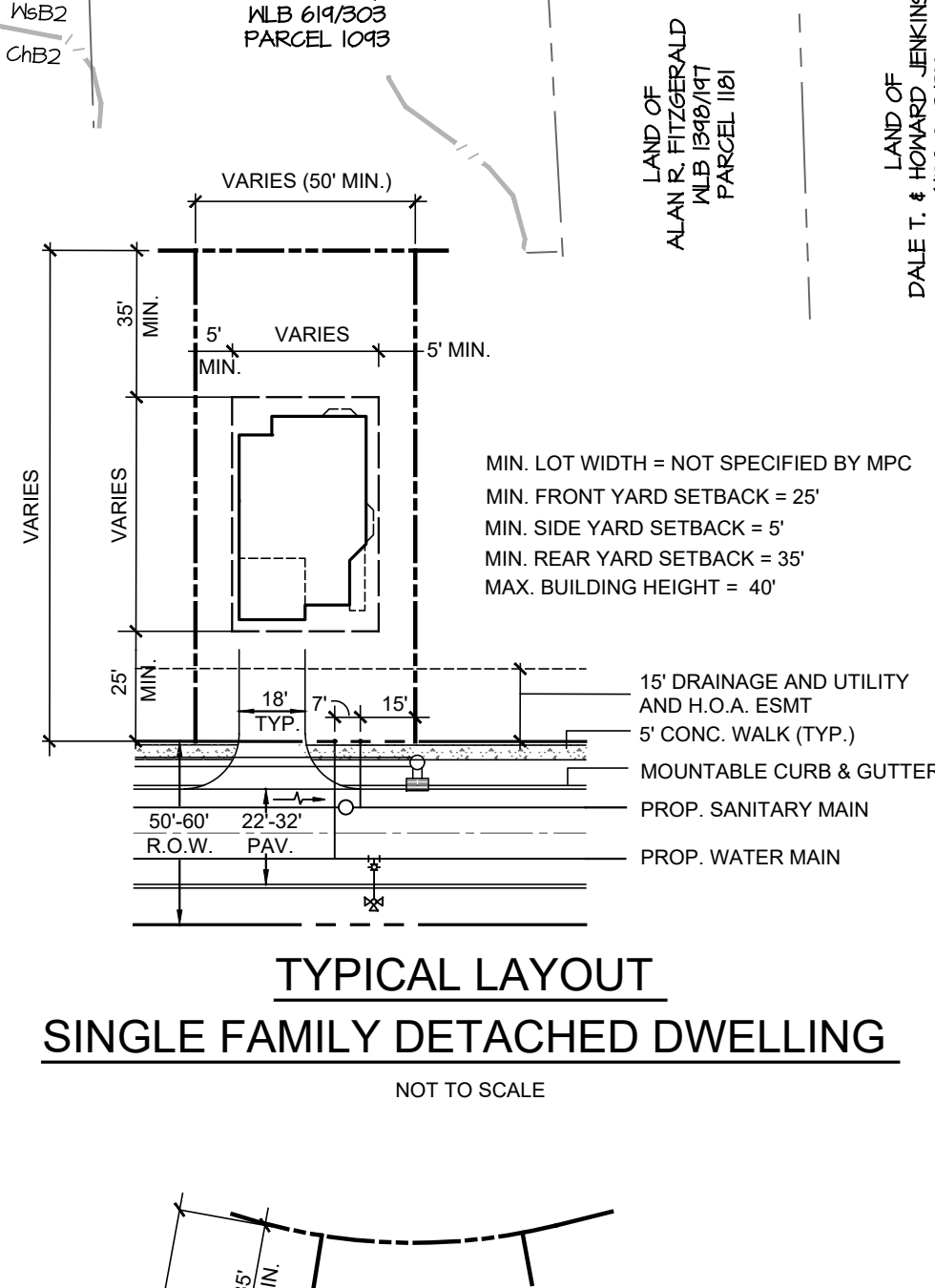
TYPICAL CORNER LAYOUT SINGLE FAMILY DETACHED DWELLING
NOT TO SCALE

UNIT TYPE	F150	S100	R100	IT	LOTS
SINGLE FAMILY	25' MIN.	5' MIN.	30' MIN.	40' MAX.	130-201
TOWNHOME GARAGE	25' MIN.	10' MIN.	25' MIN.	40' MAX.	204-252
TOWNHOME NON-GARAGE	25' MIN.	10' MIN.	25' MIN.	40' MAX.	253-302
ATTACHED DUPLEX (2 CAR)	25' MIN.	4' MIN.	20' MIN.	40' MAX.	303-352
ATTACHED DUPLEX (2 CAR)	25' MIN.	4' MIN.	20' MIN.	40' MAX.	353-402

TYPICAL LAYOUT SINGLE FAMILY DETACHED DWELLING
NOT TO SCALE



TYPICAL LAYOUT ON CURVE SINGLE FAMILY DETACHED DWELLING
NOT TO SCALE



LEGEND

48	EXISTING 2' INTERNAL CONTOUR	---	STREAM BUFFER
50	EXISTING 10' INTERNAL CONTOUR	---	STATE WETLANDS BUFFER
---	EXISTING 10' NORTHERN WETLANDS	---	NORTHERN WETLANDS
---	EXISTING WOODY VEGETATION	---	WATERS OF THE US
---	EXISTING WOODY VEGETATION TO REMAIN	---	EX. MAINTAINED STREAM CENTER LINE
---	BOUNDARY LINE	---	EX. WOODY VEGETATION TO REMAIN
---	EX. ADJOINING PROPERTY LINE	---	ROAD CENTER LINE
---	EXISTING PAVING	---	EX. ADJOINING PROPERTY LINE
---	EXISTING STORM DRAIN, MANHOLE & INLET	---	LOT PROPERTY LINE
---	EXISTING WATER LINE & FIRE HYDRANT	---	PROP. SANITARY SEWER
---	EXISTING SANITARY SEWER & MANHOLE	---	PROP. WATER LINE & FIRE HYDRANT
---	EXISTING ROAD	---	PROP. STORM DRAIN, INLET & MANHOLE
---	EXISTING LOTS OF RECORD	---	PHASE LINE
---		---	SOILS LINE AND DESIGNATION

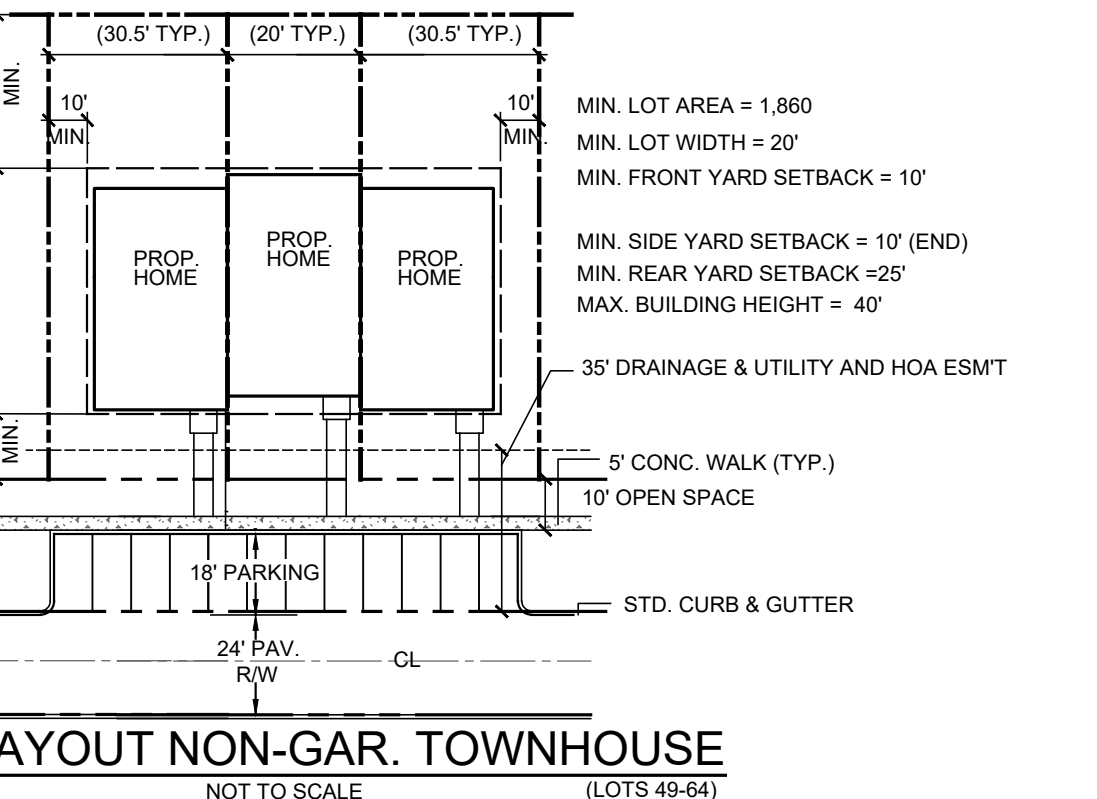
SOILS DATA

SYMBOL	SOIL SERIES	SLOPE	HYDRIC	K-FACTOR
AuB2	AURA	2-5%	NO	> 35
ChB2	CHILLUM	2-5%	NO	> 35
ChC2	CHILLUM	5-10%	NO	> 35
EvB	EVEBORO	0-5%	NO	< 35
Fna	FALLSINGTON	0-2%	YES	> 35
Fnb	FALLSINGTON	2-5%	YES	> 35
KbB2	KEYPORT	2-5%	NO	> 35
KbC2	KEYPORT	5-10%	NO	> 35
KbD2	KEYPORT	10-15%	NO	> 35
LoA	LEONARDTOWN	0-2%	YES	> 35
LoB	LEONARDTOWN	2-5%	YES	> 35
LvC	LOAMY & CLAYEY	NO	> 35	> 35
LvD	LOAMY & CLAYEY	NO	> 35	> 35
SuC2	SARAFAPAS	5-10%	NO	> 35
WuB2	WOODSTOWN	2-5%	NO	< 35
WuC2	WOODSTOWN	5-10%	NO	< 35

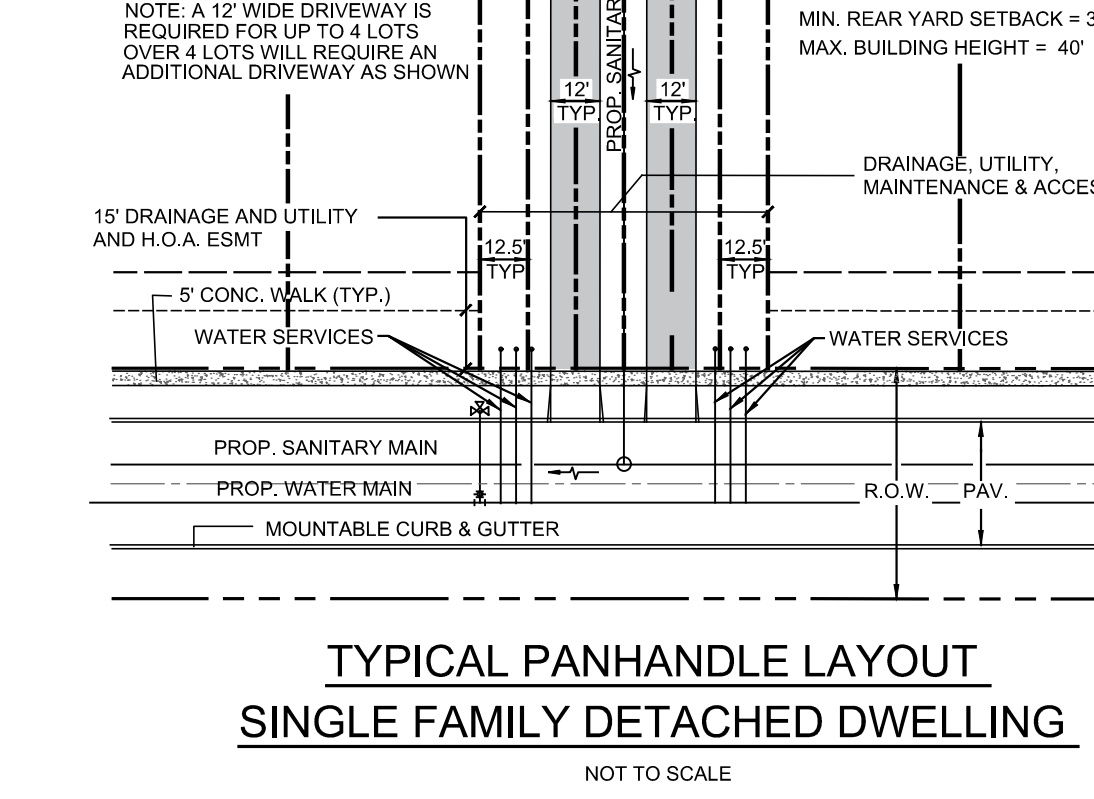
PLAN VIEW
SCALE: 1" = 10'

CURVE	DELTA	RADIUS	ARC	CHORD BEARING	CHORD	TANGENT
C-1	107°25'3"	4182.26'	15.87'	S78°17'58"W	15.87'	7.81'
C-2	170°50'5"	4172.52'	177.54'	S89°42'29"W	178.55'	300.11'
C-3	17°26'25"	4222.26'	1285.21'	N78°07'44"W	1280.26'	647.81'

TYP. LAYOUT NON-GAR. TOWNHOUSE
NOT TO SCALE



TYPICAL LAYOUT 1 CAR TOWNHOUSE
NOT TO SCALE



MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS & LANDSCAPE ARCHITECTS
3445 BOX HILL CORPORATE CENTER DRIVE
ABINGDON, MARYLAND 21009
(410) 515-9000
FAX (410) 515-9002

CONCEPT MPC PLAN FOR RIDGELY FOREST
A NORTH EAST NEIGHBORHOOD

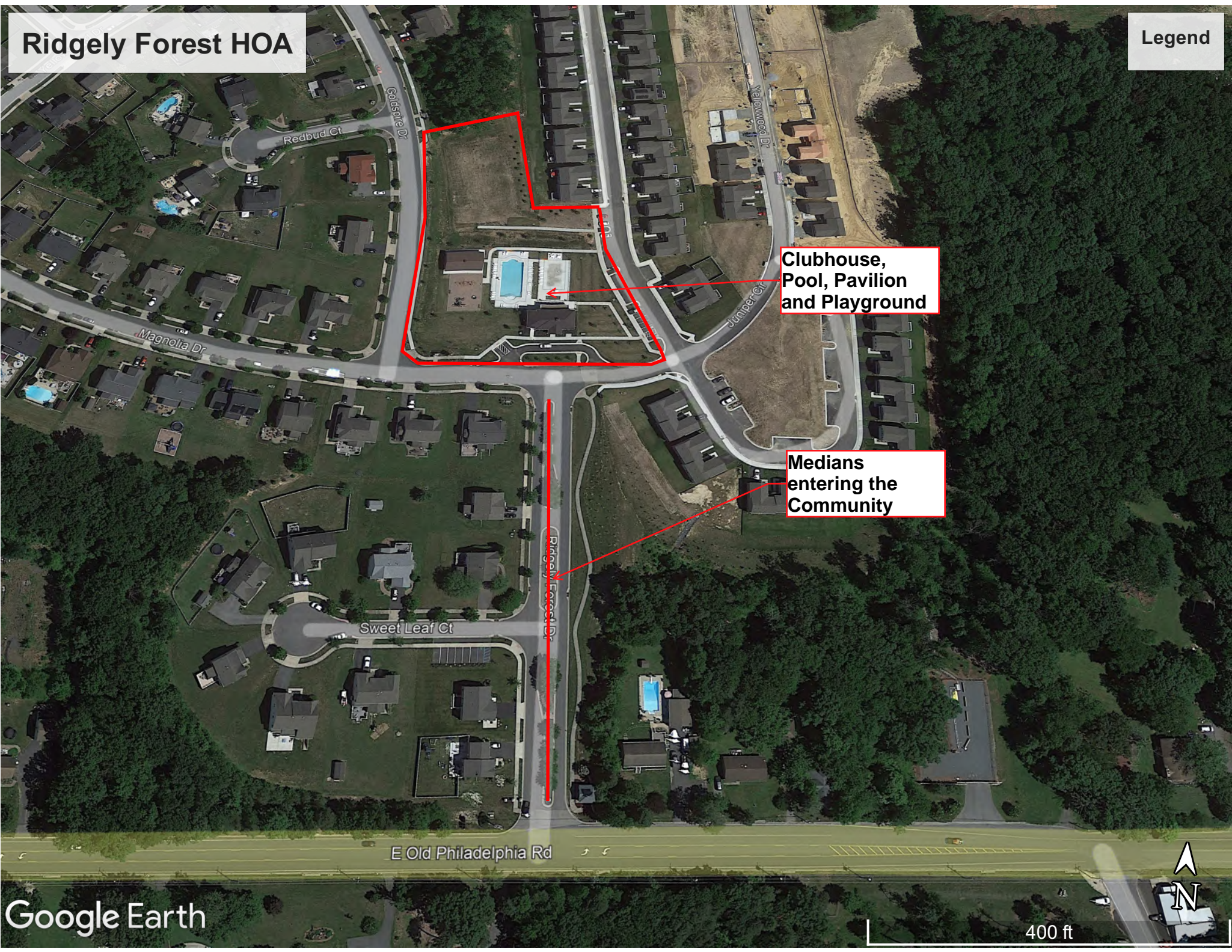
ENGINEERS SEAL ETH ELECTION DISTRICT CEEL COUNTY, MARYLAND

DATE	REVISIONS	JOB NO.	1909
02/24	REVISED PER CHAS GORNET REVIEW LETTER, DATED 02/24/09	SCALE	AS SHOWN
03/04	MPC - 2041 APPROVED BY MAYOR AND COMMISSIONERS	DATE	SEPT. 24, 2019

DRAWN BY: ADDM
CHECKED BY: JEM
REVIEWED BY: JEM
SHEET: 1 OF 1

Ridgely Forest HOA

Legend



Clubhouse,
Pool, Pavilion
and Playground

Medians
entering the
Community

Ridgely Forest HOA

Legend

SWM #2B

SWM #3A

SWM #3B

SWM #3C

SWM #2A

SWM #1

Google Earth

E Old Philadelphia Rd

1000 ft

